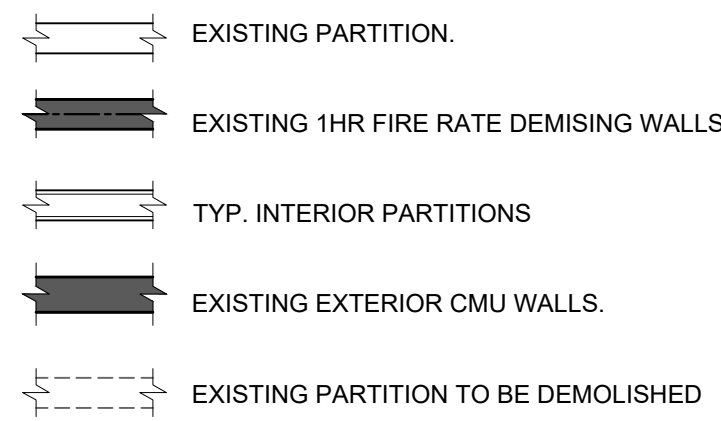


WALL TYPES LEGEND



DEMOLITION NOTES

- 01.- THE GC SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT & SERVICES TO PROPERLY EXECUTE THE DEMO & REMOVAL WORK INDICATED ON THESE PLNS.
- 02.- THE CONTRACTOR SHALL VISIT THE SITE & INSPECT THE ENTIRE EXIST SPACE & VERIFY THAT ALL ITEMS INDICATED TO BE EXIST & SO MARKED ON DWGS ARE IN PLACE & CORRECT.
- 03.- ALL DEMO WORK SHALL BE PERFORMED W/ MIN DAMAGE TO THE EXIST WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMO WORK. PROVIDE BARRICADES WHERE REQ TO PROTECT PUBLIC.
- 04.- PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT & DUST TO THE ADJACENT TENANTS. THE PROPERTY SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES. ANY ASBESTOS REMOVAL SHALL BE DONE PRIOR TO ANY DEMO WORK. THIS WORK SHALL BE DONE BY A LICENSED ABATEMENT COMPANY.
- 05.- ALL DEBRIS & MATERIALS FROM THE BLDG SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY ARCHITECT OR OWNER.
- 06.- WHERE DEMO & CUTTING WORK HAS OCCURRED OR WHERE EXIST SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES & AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED & FINISHED, & OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXIST SURROUNDING SURFACES.
- 07.- DO NOT REMOVE ANY STRUCTURAL COLS OR BEARING PARTITIONS. CAREFULLY REMOVE INTERIOR PARTITIONS ONLY. IF THERE IS ANY CONCERN WHETHER AN INTERIOR WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE A VERIFICATION / CLARIFICATION.
- 08.- WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP & WALL PENETRATION, REMOVE ALL OH WATER LINES CAP BACK AT SOURCE. ABANDONED UNDERGROUND SANITARY, GREASE OR WTR LINES SHALL BE HARD CAPPED-OFF BELOW SLAB. MAKE SURE ALL WTR HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK SHALL BE DONE BY A LICENSED PLUMBER.
- 09.- WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PNL SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN. SHOWN ON PLAN OR NOT, ABANDON ALL WALL ELECTRICAL OUTLETS THROUGH-OUT ENTIRE SPACE. ALL WIRE SHALL BE REMOVED BACK TO SOURCE. ANY BOXES LEFT IN EXIST DEMISING WALLS MUST BE COVERED W/ PLATE.
- 10.- REMOVE ALL HVAC, RTUS, DUCTWORK & VENTILATION SYSTEMS THROUGH OUT ENTIRE SPACE.
- 11.- ANY & ALL MEP NOT SHOWN ON PLAN, SHALL BE REMOVED BACK TO THE SOURCE.
- 12.- ALL UNDERGROUND PLUMBING NOT SHOWN/ INDICATED ON PLAN SHALL BE ABANDONED & HARD CAPPED BACK TO SOURCE.
- 13.- ALL WASTE CONTAINERS MUST BE LOCATED IN DESIGNATED AREA APPROVED BY THE LANDLORD.
- 14.- EXTERIOR WALKWAYS, DRIVES AND BREEZEWAYS MUST BE KEPT FREE OF ALL OBSTACLES / MATERIALS FOR THE SAFETY OF THE PUBLIC.
- 15.- CONTRACTOR IS RESPONSIBLE FOR PROVIDING BARRICADES / FENCING / SIGNAGE DURING DEMOLITION AND CONSTRUCTION.

NOTES

RESTROOM WALLS & FLOOR SHALL HAVE A SMOOTH, HARD, NON- ABSORBENT SURFACES AS PER FBC 1210.1. REF RESTROOM ELEVATIONS AT SHEET A3.0

NUMERICAL ADDRESS WILL BE PROVIDED ON ALL EXTERIOR DOORS AS PER CITY ORDINANCE WITH 6" NUMBERS, WEATHERPROOF AND IN CONTRASTING COLORS. IF ADDRESS IS TO BE PLACED ON A WINDOW, THE NUMBERS SHALL BE "WHITE". IF THEY ARE TO BE PLACED ON A LIGHT COLORED BACKGROUND, THEY SHALL BE BLACK.

TYPICAL FURNITURE, MILLWORK, DISPLAY UNIT OR SHELVING UNIT DESIGN & SHOP DRAWINGS BY "TENANT" VENDOR / CONSULTANT. G.C. SHALL COORDINATE INSTALLATION & HOOK-UP OF ANY UTILITIES WITHIN. FOR CODE PURPOSES ONLY, SALES COUNTER SHALL HAVE A MAX. HEIGHT OF 36" FOR A MIN DISTANCE OF 36" AS PER FBC 11-7.2

SEE SHEET LS1.0 FOR LIFE SAFETY PLAN.

ALL NEW OR EXISTING DRYWALL SHALL BE TAPED, SANDED & READY FOR PAINT.

TERMITE PROTECTION STATEMENT

BUILDINGS SHALL HAVE PRE-CONSTRUCTED TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES & LAWS ESTABLISHED BY THE "FLORIDA DEPARTMENT OF AGRICULTURE & CONSUMER SERVICES". A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST COMPANY PERFORMING THE TREATMENT THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE & CONSUMER SERVICES".

FINISH LEGEND

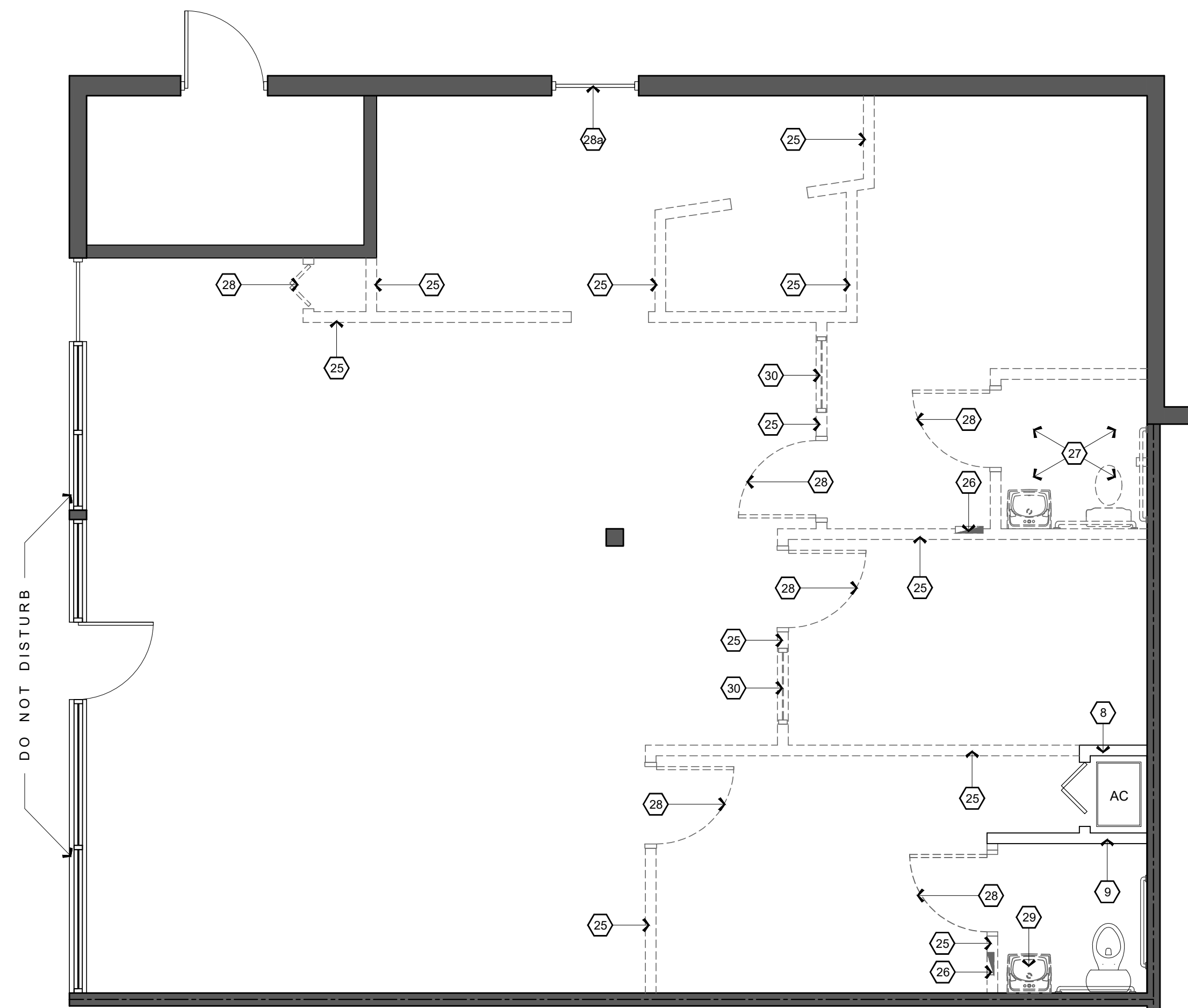
- A.- LUXURY VINYL PLANKS - ARMSTRONG NATURAL CREATIONS: AMERICAN WALNUT SIENNA SKU# TP052 4" x 36" 44 Sq.Ft. PER CARTON.
 - B.- TILE INTERCERAMIC, THASSOS TRAVERTINE CLASSIC 16" x 24".
 - C.- CARPET - PHILADELPHIA CARPET. STYLE - 54450 SPEAK EASY. COLOR - 50501 SOFT APPROACH, PATTERN REPEAT 1" W x 2" L.
 - D.- WALL PAINT #1: GROUNDED GRAY. VALSPAR - 321B-4. FINISH IN SATIN / EGGSHELL. SHERWIN WILLIAMS THRESHOLD TAUPE - SW 7501. TRIM / MOLDING ON ALL WALL BASE PERIMETER. 1" x 6" OAK WITH WATER BASED POLY FINISH.
 - E.- WALL PAINT #2: TREE BARK. VALSPAR - 321B-5. FINISH IN SATIN / EGGSHELL. SHERWIN WILLIAMS ADAPTATIVE SHADE - SW 7053. TRIM / MOLDING ON ALL WALL BASE PERIMETER. 1" x 6" OAK WITH WATER BASED POLY FINISH.
 - F.- PAINTED WITH FLAT BLACK DRY FOG PAINT. USG RADAR 2310, 2" x 4" x 3/4" ACOUSTICAL CEILING W/ STD. "T" WHITE SUSPENSION GRID SYSTEM HUNG PER MFG. SPECS @ BOTTOM OF EXISTING JOISTS.
 - G.- WHITE USG RADAR 2310, 2" x 4" x 3/4" ACOUSTICAL CEILING W/ STD. "T" WHITE SUSPENSION GRID SYSTEM HUNG PER MFG. SPECS @ +8.00' A.F.F
- PROVIDE 4" VINYL BASE THROUGHOUT ENTIRE SPACE.

KEY LEGEND

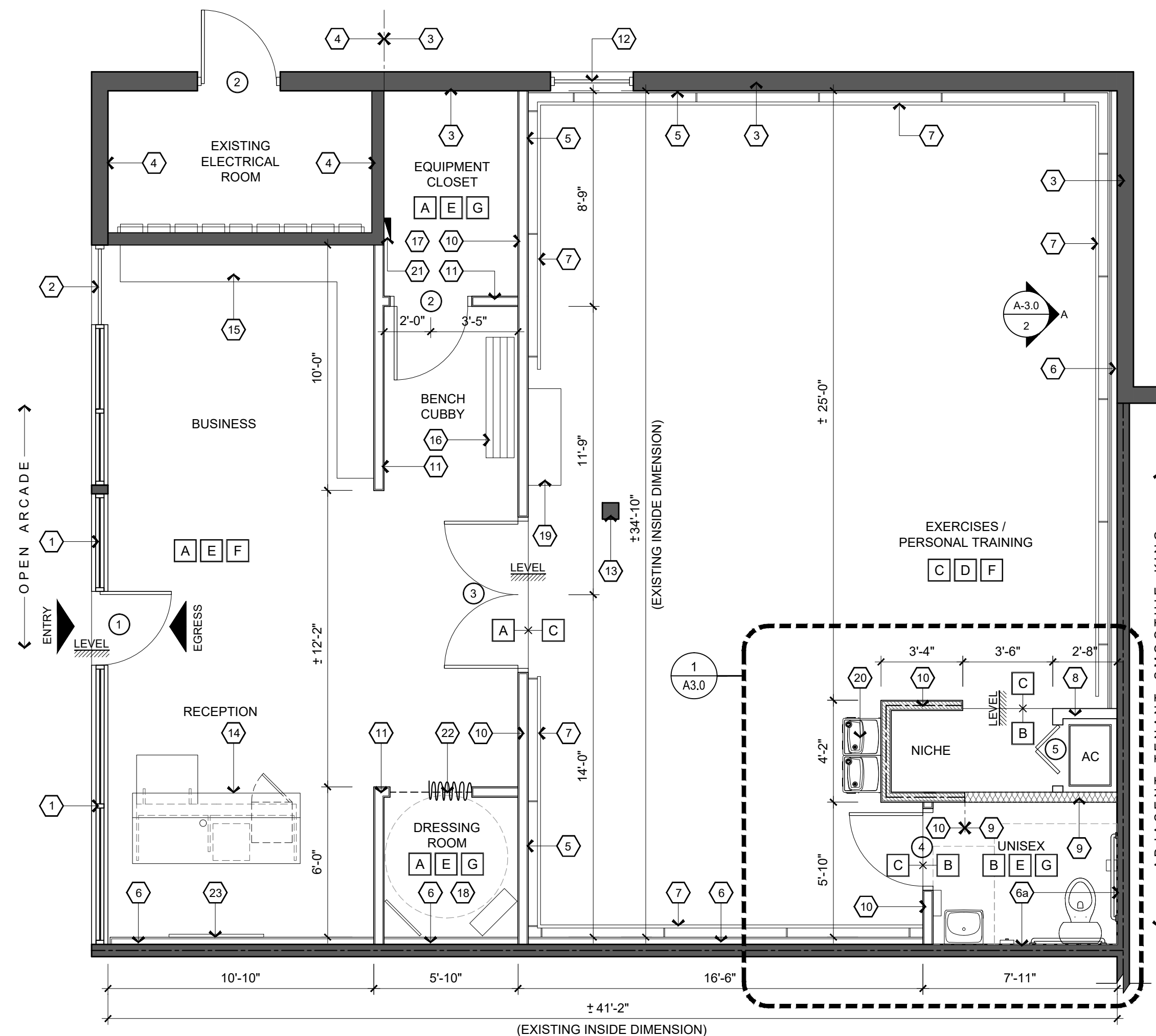
1. EXISTING STOREFRONT SYSTEM AND STEM STEM WALL TO REMAIN, NOT TO BE DISTURBED AS A PART OF THESE DOCUMENTS OR PERMIT. DRYWALL / PLASTER FINISH ON INTERIOR SIDE OF STEM WALL SHALL BE PATCHED AND PREPARED READY FOR PAINTING. SEE FINISH SCHEDULE FOR MORE DETAILED INFORMATION.
2. EXISTING STOREFRONT DOOR TO REMAIN CLOSED AND LOCKED.
3. EXISTING MASONRY WALL NOT TO BE DISTURBED ON EXTERIOR SIDE. DRYWALL / PLASTER FINISH ON INTERIOR SIDE SHALL BE PATCHED AND PREPARED READY FOR PAINTING. SEE FINISH SCHEDULE FOR MORE DETAILED INFORMATION.
4. MASONRY WALLS OF METER ROOM SIDE NOT TO BE DISTURBED. DRYWALL / PLASTER FINISH ON INTERIOR SIDE SHALL BE PATCHED AND PREPARED READY FOR PAINTING. SEE FINISH SCHEDULE FOR MORE INFORMATION.
5. MIRROR WALL. MIRROR SHALL BE 1/4" POLISHED PLATE GLASS, FRAMELESS AND GLUED TO WALL WITH SAFETY BACKING. LEAVE 1/16" GAP BETWEEN PANELS. TOP OF MIRROR SHOULD BE 8"-1" FROM THE FLOOR. RUN PANELS HORIZONTALLY 5' HIGH X 10' LONG ABOVE THE BARRE AND 2' HIGH X 10' LONG BELOW THE BARRE. CLIPS MAY BE USED FOR MOUNTING. SEE TYPICAL ELEVATION SHEET A3.0.
6. NEW ACOUSTICAL WALL UP AGAINST EXISTING DEMISING WALL OR MASONRY WALL. GLUE (2) LAYERS OF 5/8" DRYWALL TOGETHER AND THEN ADD (1) SHEET 5/8" PLYWOOD. SEE DETAIL "4" ON SHEET A4.0 FOR MORE INFO.
- 6a. ADD (1) LAYER OF 5/8" QUIET DRYWALL TO EXISTING WALLS FULL HEIGHT UP TO ROOF DECK. SEE FINISH SCHEDULE AND SHEET A4.0 FOR MORE INFORMATION.
7. CONTINUOUS "PURE BARRE" BARRE ATTACHES TO A 1" x 6" PIECE OF RED OAK TRIM AT 36" AFF. SHOULD BE SHIPPED SANDED AND COATED WITH LINSEED OIL. CLEAN WITH MURPHY'S OIL SOAP. PURCHASE BALLET BARRE AND BRACKETS FROM "PURE BARRE" REQUIRED VENDOR ONLY. SEE TYPICAL ELEVATION SHEET A3.0.
8. EXISTING INTERIOR PARTITION NOT TO BE DISTURBED EXCEPT FOR RESTORING, PATCHING, REPAIRING FRAMING AND DRYWALL / PLASTER FINISH AS REQUIRED. SEE FINISH SCHEDULE FOR MORE DETAILED INFORMATION.
9. SAME AS KEY NOTE "8", EXCEPT REMOVE PORTION OF DRYWALL TO ADD 4" BATT INSULATION BETWEEN EXISTING STUDS, APPLY NEW DRYWALL ACCORDINGLY, SEE FINISH SCHEDULE FOR MORE DETAILED INFORMATION.
10. TYPICAL PARTITION WITH 3 5/8" 20 GA. STEEL STUDS FROM FLOOR TO ROOF DECK AT 16" O.C. WITH 6" BATT INSULATION BETWEEN AND WITH 5/8" DRYWALL APPLIED TO EACH SIDE. SEE DETAIL SHEET A4.0 AND FINISH SCHEDULE FOR MORE DETAILED INFORMATION.
11. SAME AS KEYNOTE "10", EXCEPT PARTITION DOES NOT HAVE TO BE 1-HOUR RATED, WITHOUT INSULATION AND ONLY 8.00' HIGH.
12. EXISTING DOOR TO BE WELDED SHUT. WELD PLATE AT DOOR CORE AND PAINT ENTIRE DOOR TO MATCH BUILDING STANDARD.
13. EXISTING COLUMN, TO BE BOXED-IN WITH DRYWALL, SEE DETAIL SHEET A3.0.
14. ADA COMPLIANT RECEPTION DESK, SEE DETAILS SHEET A4.0.
15. BUSINESS DISPLAY, TO BE DETERMINED, FURNISHED & INSTALLED BY PURE BARRE.
16. ADA COMPLIANT "NORDEN BENCH" - ITEM# 400.592.96.
17. EQUIPMENT CLOSET, SEE SPEC. SHEETS FOR EQUIPMENT FURNITURE OPTIONS.
18. DRESSING ROOM WITH:
- TYLER KINGSTON" ADA BENCH,
- MIRROR
- HOOK(S).
- ROD AND CURTAIN AT OPENINGS.
ALL PROVIDED AND INSTALLED BY PURE BARRE.
19. STEREO SYSTEM SHELF, SEE DETAILS SHEET A3.0.
20. ADA COMPLIANT HI-LO DRINKING FOUNTAIN.
21. NEW SURFACE MOUNTED ELECTRICAL PANEL, SEE SHEET E1.0 FOR MORE INFORMATION.
22. DRESSING ROOM CURTAIN. SHALL BE SOLID FABRIC ONLY AND MUST BE PRE-APPROVED BY PURE BARRE.
23. WALL MOUNTED PURE BARRE LOGO BY FRANCHISE.
24. NOT USED.

DEMOLITION:

25. EXISTING PARTITION WALLS TO BE DEMOLISHED.
26. EXISTING ELECTRICAL PANEL TO BE REMOVED, 0.4 ELECTRICAL FEEDER TO REMAIN. SEE SHT. E1.0 FOR MORE INFORMATION.
27. REMOVE ENTIRE RESTROOM FACILITY. THIS INCLUDES, ALL FLOORING, FINISHES, NON-BEARING PARTITIONS, FIXTURES, ACCESSORIES AND CEILING SYSTEMS. ALL "M.E.P." SHALL BE REMOVED & HARD CAPPED BACK TO SOURCE.
28. EXISTING DOORS & JAMB TO BE REMOVED
- 26a. EXISTING DOOR TO REMAIN CLOSED AND LOCKED. REMOVE DOOR KNOB. SEE KEYNOTE "12" ABOVE.
29. EXISTING SINK TO BE RELOCATED INCLUDING AL PLUMBING BACK TO SOURCE.
30. EXISTING FIXED GLASS PANEL TO BE REMOVED.



DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"